

Attachment 1: Modelling for Minimum Tree Requirements

How to Use this Document

This document is intended to help visualize the viability of integrating trees within different small scale residential scenarios where the site width is less than 8.0 m. This document has been prepared for illustrative purposes and is intended to assist readers in understanding:

- the number of trees that could fit under each scenario in the (RS) Small Scale Residential Zone and (RSF) Small Scale Flex Residential Zone
- the maximum spread of a tree that could fit under each scenario

Each zone features a sample of one or more scenario models to highlight some of the different landscaping opportunities under each zone. Each scenario outlines the development assumptions under which the model was made. Assumptions include maximum build out in accordance with Zoning Bylaw 20001. Text in parentheses “(e.g. min: 10.0 m)” indicates the minimum or maximum regulation requirements proposed in the zone.

Glossary

A glossary is provided at the end of this document to explain terms used in the diagrams.

Note: *This document reflects regulations of Zoning Bylaw 20001, approved as of January 1, 2024.*

DRAFT

Table of Contents

How to Use this Document	1
(RS) Small Scale Residential Zone	3
RS Zone - Single Detached House with a Rear Detached Garage.....	3
RS Zone - Single Detached House with a Front Attached Garage.....	5
(RSF) Small Scale Residential Zone	6
RSF Zone - Single Detached House with a Front Attached Garage.....	6
RSF Zone - Single Detached House with a Rear Attached Garage.....	7
RSF Zone - Single Detached House with a Rear Detached Garage.....	8
Glossary	9

DRAFT

(RS) Small Scale Residential Zone

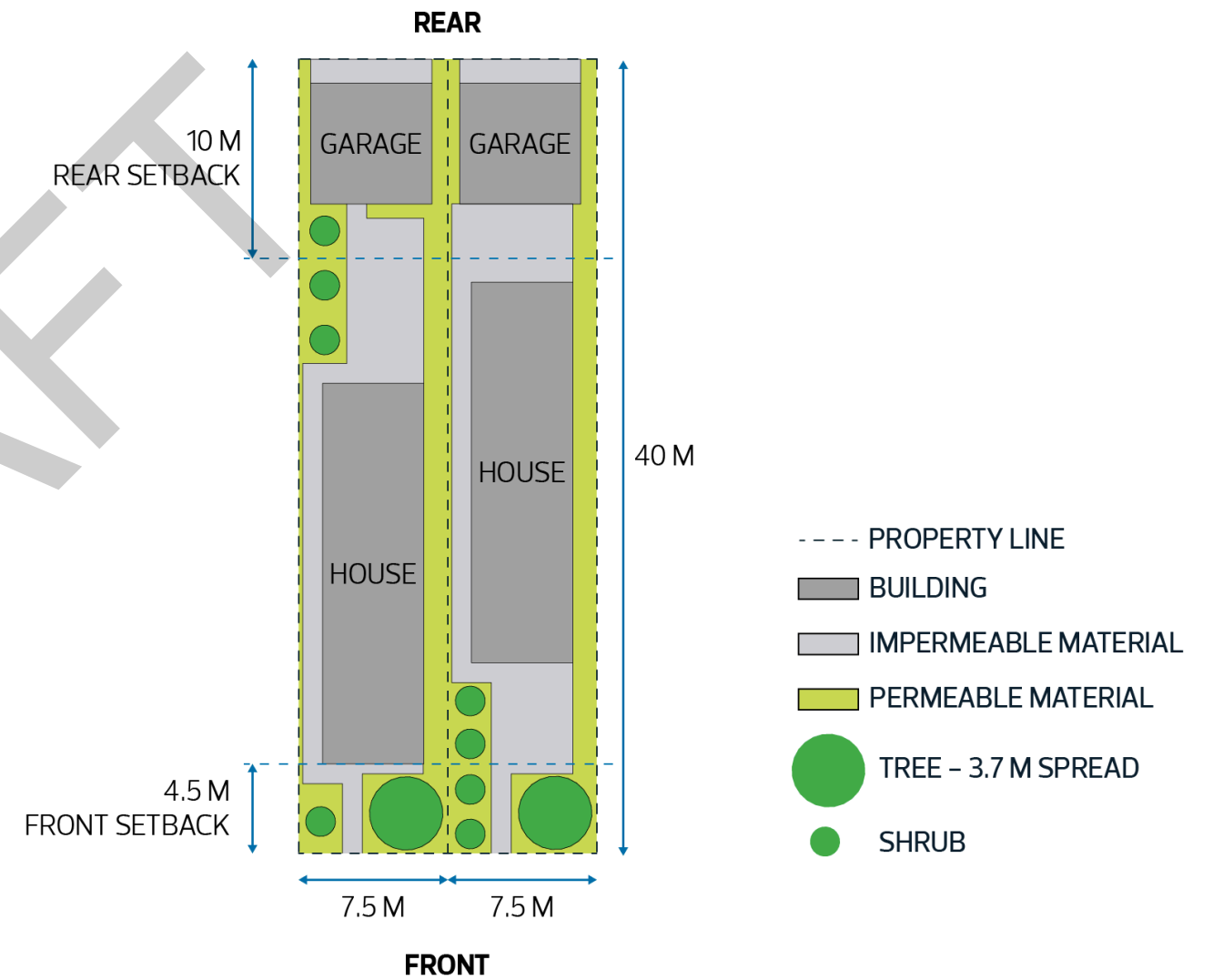
RS Zone - Single Detached House with a Rear Detached Garage

SITE CONTEXT

- Internal site with alley access
- No treed boulevard
- Maximum build out in accordance with the regulations in Zoning Bylaw 20001

DEVELOPMENT ASSUMPTIONS

- **Site area:** 300.0 m² (Zoning Bylaw minimum 75.0 m² per Dwelling)
- **Site width:** 7.5 m (Zoning Bylaw minimum 7.5 m)
- **Site depth:** 40.0 m (Zoning Bylaw minimum 30.0 m)
- **Site Coverage:** 45% (Zoning Bylaw maximum 45%)
- **Front Setback:** 4.5 m - left; 9.6 m - right (Zoning Bylaw minimum 4.5 m)
- **Rear Setback:** greater than 10.0 m (Zoning Bylaw minimum 10.0 m)
- **Side Setback (left):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Side Setback (right):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Distance between the House and Garage:** greater than 3.0 m (Zoning Bylaw minimum 3.0 m)
- **Soft Landscaped Area:** 30% (Zoning Bylaw minimum 30%)
- **Impermeable Material (patio/pathway/deck):** 70%



(RS) Small Scale Residential Zone

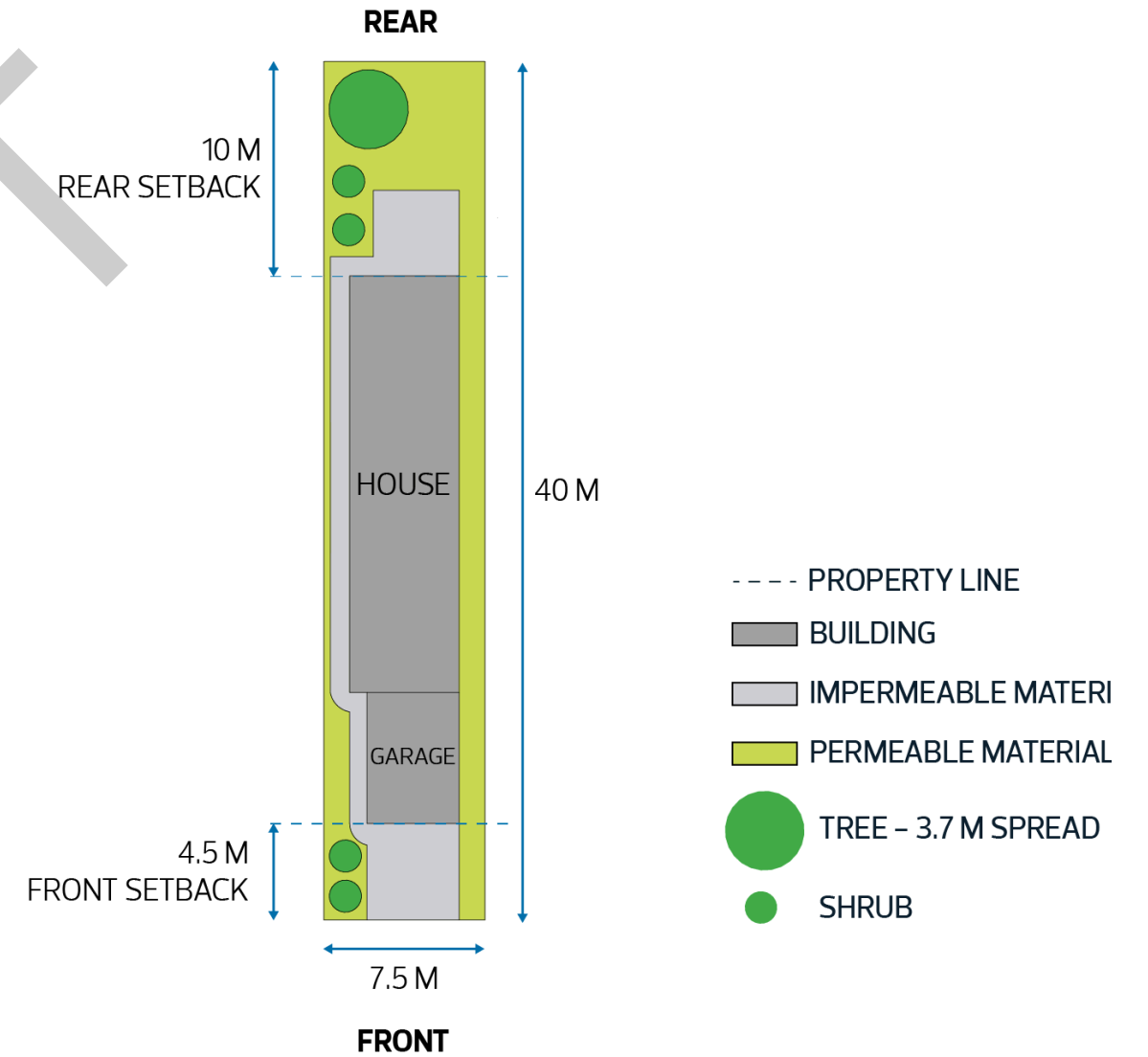
RS Zone - Single Detached House with a Front Attached Garage

SITE CONTEXT

- Internal site with alley access
- No treed boulevard
- Maximum build out in accordance with the regulations in Zoning Bylaw 20001

DEVELOPMENT ASSUMPTIONS

- **Site area:** 300.0 m² (Zoning Bylaw minimum 75.0 m² per Dwelling)
- **Site width:** 7.5 m (Zoning Bylaw minimum 7.5 m)
- **Site depth:** 40.0 m (Zoning Bylaw minimum 30.0 m)
- **Site Coverage:** 45% (Zoning Bylaw maximum 45%)
- **Front Setback:** 4.5 m - left; 9.6 m - right (Zoning Bylaw minimum 4.5 m)
- **Rear Setback:** greater than 10.0 m (Zoning Bylaw minimum 10.0 m)
- **Side Setback (left):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Side Setback (right):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Distance between the House and Garage:** greater than 3.0 m (Zoning Bylaw minimum 3.0 m)
- **Soft Landscaped Area:** 30% (Zoning Bylaw minimum 30%)
- **Impermeable Material (patio/pathway/deck):** 70%



(RSF) Small Scale Residential Zone

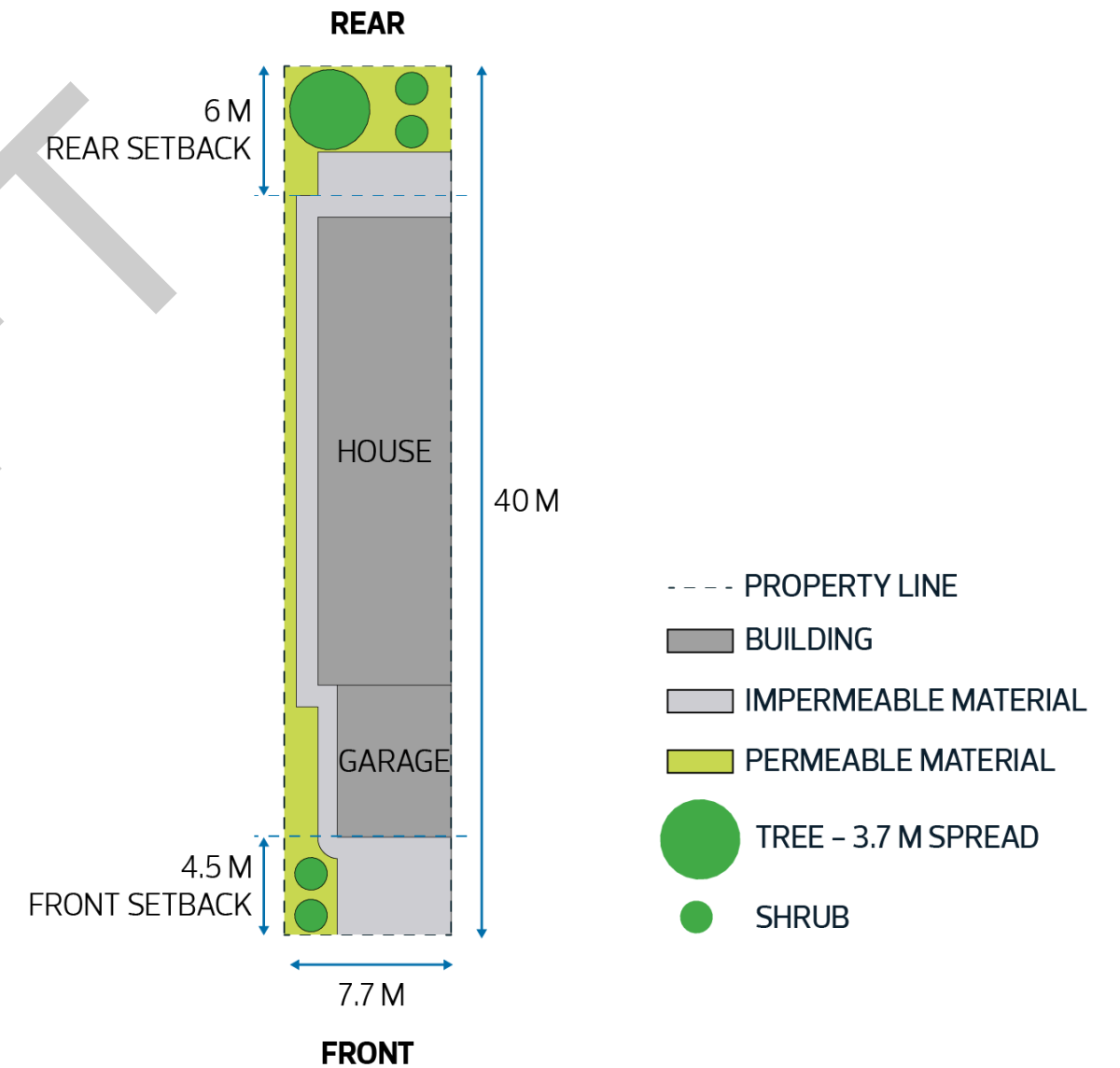
RSF Zone - Single Detached House with a Front Attached Garage

SITE CONTEXT

- Zero Lot Line Development
- Internal site, no alley access
- No treed boulevard
- Maximum build out in accordance with the regulations in Zoning Bylaw 20001

DEVELOPMENT ASSUMPTIONS

- **Site area:** 308.0 m² (no min/max)
- **Site width:** 7.70 m (Zoning Bylaw minimum 7.5 m)
- **Site depth:** 40.0 m (no min/max)
- **Site Coverage:** (Zoning Bylaw maximum 55%)
- **Front Setback:** (Zoning Bylaw minimum 4.5 m)
- **Rear Setback:** (Zoning Bylaw minimum 6.0 m)
- **Side Setback (left):** 1.5 m (Zoning Bylaw minimum 1.5 m where the Abutting Interior Side Setback is 0 m)
- **Side Setback (right):** 0 m
- **Soft Landscaped Area:** (Zoning Bylaw minimum 30%)
- **Impermeable Material (patio/pathway/deck):** 70%



(RSF) Small Scale Residential Zone

RSF Zone - Single Detached House with a Rear Attached Garage

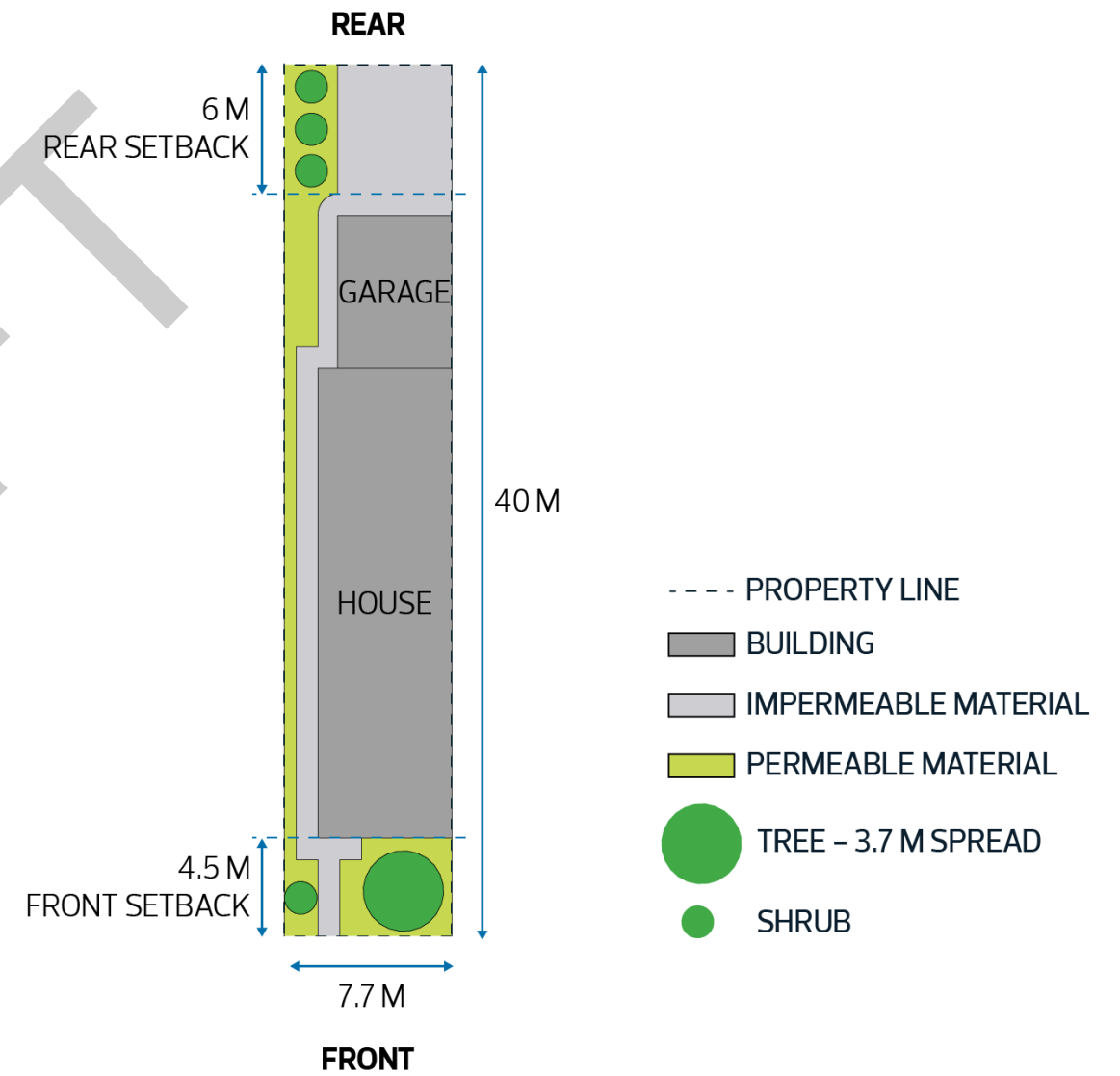
SITE CONTEXT

- Zero Lot Line Development
- Internal site with alley access
- No treed boulevard
- Maximum build out in accordance with the regulations in Zoning Bylaw 20001

DEVELOPMENT ASSUMPTIONS

- **Site area:** 308.0 m² (no min/max)
- **Site width:** 7.70 m (Zoning Bylaw minimum 7.5 m)
- **Site depth:** 40.0 m (no min/max)
- **Site Coverage:** (Zoning Bylaw maximum 55%)
- **Front Setback:** (Zoning Bylaw minimum 4.5 m)
- **Rear Setback:** (Zoning Bylaw minimum 1.2 m)
- **Side Setback (left):** 1.5 m (Zoning Bylaw minimum 1.5 m where the Abutting Interior Side Setback is 0 m)
- **Side Setback (right):** 0 m
- **Soft Landscaped Area:** (Zoning Bylaw minimum 30%)
- **Impermeable Material (patio/pathway/deck):** 70%

DRAFT



(RSF) Small Scale Flex Residential Zone

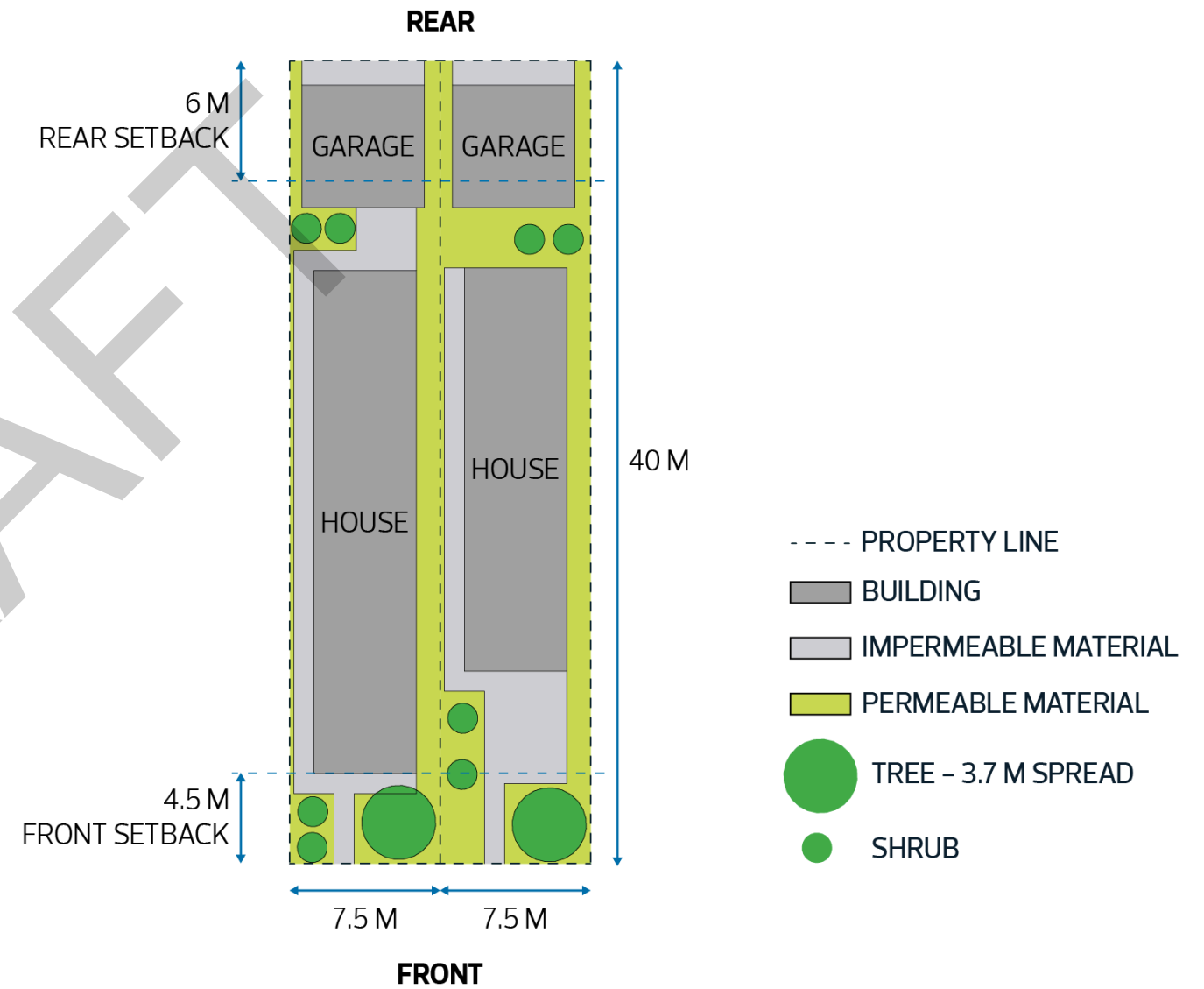
RSF Zone - Single Detached House with a Rear Detached Garage

SITE CONTEXT

- Internal site with alley access
- No treed boulevard
- Maximum build out in accordance with the regulations in Zoning Bylaw 20001

DEVELOPMENT ASSUMPTIONS

- **Site area:** 300.0 m² (no min/max)
- **Site width:** 7.5 m (Zoning Bylaw minimum 7.5 m)
- **Site depth:** 40.0 m (no min/max)
- **Site Coverage:** 55% (Zoning Bylaw maximum - 55%)
- **Front Setback:** 4.5 m - left; 9.6 m - right (Zoning Bylaw minimum 4.5 m)
- **Rear Setback:** greater than 6.0 m (Zoning Bylaw minimum 6.0 m)
- **Side Setback (left):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Side Setback (right):** 1.2 m (Zoning Bylaw minimum 1.2 m)
- **Soft Landscaped Area:** (Zoning Bylaw minimum 30%)
- **Impermeable Material (patio/pathway/deck):** 70%



Glossary

Front Setback: means the distance that a development or a specified portion of a development, must be from a Front Lot Line. A Front Setback is not a Front Yard.

Impermeable Material: means materials that do not allow water to infiltrate into the ground. Typical examples include building coverage, asphalt, concrete, and other paving materials installed in a manner that prevents infiltration. This does not include materials such as gravel, river rock, wood chips, bark mulch, permeable pavers, permeable concrete, permeable asphalt, soil pavement, and wood decking with spaced boards.

Interior Side Setback: means the distance that a development or a specified portion of a development must be from an Interior Side Lot Line. An Interior Side Setback is not an Interior Side Yard.

Rear Setback: means the distance that a development, or a specified portion of a development, must be from a Rear Lot Line. A Rear Setback is not a Rear Yard.

Single Detached Housing: means a building that contains 1 principal Dwelling and has direct access to ground level.

Site: An area of land consisting of one or more abutting lots.

Site Depth: The distance between the front lot line and the rear lot line.

Site Width: The distance between the side boundaries of the site.

Soft Landscaping: means Landscape materials that allow water infiltration and absorption into the ground to reduce stormwater runoff and to be capable of supporting living plants, such as trees, shrubs, flowers, grass, or other perennial ground cover. This does not include materials that prevent water infiltration or materials such as artificial turf, decking, bricks, and pavers.

Zero Lot Line Development: means a housing arrangement of Single Detached Housing, Semi-detached Housing, or Row Housing that is developed on a Site where 1 Interior Side Setback is reduced to 0 m. This does not include Cluster Housing. A Zero Lot Line Development must not also be a Reduced Setback Development. This housing arrangement may only be used where regulations specific to it are contained in the applicable Zone.

DRAFT